



RENAISSANCE ZONE AUTHORITY

MEETING AGENDA December 8, 2022

Tom Baker Meeting Room	4:00 p.m.	City-County Office Building
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The City of Bismarck is encouraging citizens to provide their comments for public hearing items on the Renaissance Zone Authority agenda via email to dnairn@bismarcknd.gov. The comments will be sent to the Renaissance Zone Authority prior to the meeting and included in the minutes of the meeting. To ensure that comments are compiled and forwarded to the Renaissance Zone Authority with enough time to review all comments, please submit your comments no later than 8:00 am the day of the meeting. Comments should also include which agenda item number your comment references and your

name. Late or anonymous comments will not be forwarded to the Renaissance Zone Authority or included in the minutes of the meeting. If you would like to appear via video or audio link for a 3-5-minute comment on a public hearing item, please provide your e-mail address and contact information to dnairn@bismarcknd.gov at least one business day before the meeting.

As always, live meeting coverage is available on Government Access Channels 2 and 602HD, Radio Access 102.5 FM Radio, or stream FreeTV.org and RadioAccess.org.

Item No.	Page No.
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MINUTES

1. Consider approval of the minutes of the August 11, 2022 regular meeting of the Renaissance Zone Authority.
2. Consider approval of the minutes of the August 22, 2022 special joint meeting of the Renaissance Zone Authority and the Bismarck Parking Authority.

REGULAR AGENDA

Requests for Renaissance Zone and/or Downtown Design Review approval

3. **Heartview Recovery Mural (Phase 2) | 101 East Broadway Avenue8**
 - Downtown Design Review | DDR2022-009



Staff recommendation: Approve

☐ *approve*

☐ *continue*

☐ *table*

☐ *deny*

4. Downtown Depot Renovation | 401 East Main Avenue12

- Downtown Design Review | DDR2022-010

Staff recommendation: Approve

☐ *approve*

☐ *continue*

☐ *table*

☐ *deny*

5. Johnnie's Service and Speed Shop Mural | 102 East Main Avenue25

- Downtown Design Review | DDR2022-011

Staff recommendation: Approve

☐ *approve*

☐ *continue*

☐ *table*

☐ *deny*

OTHER BUSINESS

6. Report from Staff

7. Report from Downtowners

ADJOURNMENT

8. Adjourn. The next regular meeting date is scheduled for **January 12, 2023**

Enclosure: *Renaissance Zone Project Status Spreadsheet*

**BISMARCK RENAISSANCE ZONE AUTHORITY
MEETING MINUTES
August 11, 2022**

The Bismarck Renaissance Zone Authority met on August 11, 2022 in the Tom Baker Meeting Room in the City-County Office Building at 221 North 5th Street and remotely via the online platform Zoom. Chair Christianson presided and was present in the Tom Baker Meeting Room.

Authority members present were Jim Christianson, Mike Connelly, Dustin Gawrylow, Todd Van Orman and Greg Zenker.

Authority members Joe Fink and Curt Walth were absent.

Design Advisor David Witham was present.

Design Advisor Eric Hoffer was absent.

Staff members present were Sandra Bogaczyk (Office Assistant II), Jannelle Combs (City Attorney), Ben Ehreth (Director of Community Development) and Daniel Nairn (Senior Planner).

Guests present were Kate Herzog (The Downtowners) and Melissa Gordon (Artist).

CALL TO ORDER

Chair Christianson called the meeting to order at 4:00 p.m.

MINUTES

The minutes of the July 14, 2022 meeting were distributed prior to the meeting.

MOTION: A motion was made by Mr. Van Orman and seconded by Mr. Zenker to approve the minutes of the July 14, 2022 meeting. The motion passed unanimously by voice vote with members Connelly, Gawrylow, Van Orman, Zenker and Chair Christianson voting in favor.

Chair Christianson stated that he received an email of resignation from Bruce Whittey as Technical Advisor to the Renaissance Zone Authority and read it aloud stating Mr. Whittey's belief that a vibrant downtown core is essential for Bismarck's well-being and that the Renaissance Zone Authority has done much to enhance the life of the City. Chair Christianson thanked Mr. Whittey for over 30 years of service and offered him a Happy Birthday wish.

DOWNTOWN DESIGN REVIEW – 101 EAST BROADWAY AVENUE MELISSA GORDON – PUBLIC ART MURAL

Mr. Nairn gave an overview of the staff report and stated that the applicant, Melissa Gordon, is requesting Downtown Design Review approval for a mural public art piece at the address of 101 East Broadway Avenue, occupied by the Heartview Foundation. He stated that the artwork, to be located on the west wall, would be comprised of plywood cutouts and shaped as feathers in the form of angel wings.

Mr. Nairn stated that, based on the findings contained in the staff report, staff recommends approval of the proposed mural design for 101 East Broadway Avenue as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

Mr. Zenker asked if there are issues with the proximity of guide wires. Mr. Nairn stated that he would reach out to MDU regarding safety concerns.

Mr. Van Orman asked the artist if a clear coat or weather proofing of some sort would be necessary to preserve the artwork and asked how the piece will be maintained if it were to fall into disrepair. Ms. Gordon stated that she would recommend a clear coat and stated that the wood will be sealed prior to assembly and stated that she would maintain the work if any repairs were needed to be made.

Mr. Connelly stated that he was glad to see the use of color and thought it would enhance the area.

MOTION: A motion was made by Mr. Van Orman and seconded by Mr. Zenker to approve the proposed mural design for 101 East Broadway Avenue as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation. The motion passed with members Connelly, Gawrylow, Van Orman, Zenker and Chair Christianson voting in favor.

DOWNTOWN DESIGN REVIEW – 202 NORTH 4TH STREET MOLLY MCLAIN – INSTALLATION OF MOSAIC ON PUBLIC BENCH

Mr. Nairn gave an overview of the staff report and stated that the applicant, Molly McLain, is requesting Downtown Design Review approval of a mosaic to be installed on a public bench in front of 202 North 4th Street. Mr. Nairn showed a photograph of the proposed location with an example of the intended graphics which form a logo for the Together 2045 Bismarck Comprehensive Plan. He added that the proposed bench is identified as a priority for mosaics in the Downtown Streetscape Standards and the design, to be completed in September, was created by students at the Career Academy.

Mr. Nairn stated that, based on the findings contained in the staff report, staff recommends approval of the mosaic to be installed on a public bench in front of 202 North 4th Street as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

MOTION: A motion was made by Mr. Zenker and seconded by Mr. Gawrylow to approve the proposed mosaic to be installed on a public bench in front of 202 North 4th Street as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation. The motion passed with members Connelly, Gawrylow, Van Orman, Zenker and Chair Christianson voting in favor.

OTHER BUSINESS

DISCUSSION ABOUT RELEVANT SECTIONS OF TOGETHER 2045 COMPREHENSIVE PLAN, INCLUDING DESIGN REVIEW PROCEDURES.

Mr. Nairn stated that the City is in the process of updating the comprehensive plan guiding land use and development throughout the community. He welcomed the Renaissance Zone Authority to provide comment on this plan. Mr. Nairn referred to the memoranda in the meeting packet and took comment.

Chair Christianson thanked staff for the presentation.

REPORT FROM DOWNTOWNERS

Ms. Herzog shared some opinions of downtown business owners along with possible future development opportunities including Community Reinvestment Act (CRA) involvement.

Chair Christianson stated the status of the RFP for the surface lot at 5th Street and Thayer Avenue, which was that no proposals are currently under consideration. He stated that his recent KFYR interview centered on relieving misinformation about funding for downtown parking lots.

There was discussion about Downtown Design Review's relationship within the Renaissance Zone Authority.

ADJOURNMENT

There being no further business, the meeting of the Bismarck Renaissance Zone Authority adjourned at 4:30 p.m. to meet again on September 8, 2022.

Respectfully submitted,

Sandra Bogaczyk
Recording Secretary

Jim Christianson
Chair

**BISMARCK RENAISSANCE ZONE AUTHORITY
SPECIAL JOINT MEETING WITH BISMARCK PARKING AUTHORITY
MEETING MINUTES
August 22, 2022**

The Bismarck Renaissance Zone Authority met with the Bismarck Parking Authority in this joint special meeting on August 22, 2022 at 4 p.m. in the David Blackstead Conference Room in the City-County Office Building at 221 North 5th Street. Chair Christianson presided. These minutes reflect the actions of the Renaissance Zone Authority.

Authority members present were Jim Christianson, Joe Fink, Dustin Gawrylow, Todd Van Orman and Greg Zenker.

Authority members Mike Connelly and Curt Walth were absent.

Parking Authority members present were Jim Christianson, Jake Axtman, Todd Kovash and Kyle Holwagner.

Staff members present were Sandra Bogaczyk (Office Assistant II), Kim Lee (Planning Manager), Jannelle Combs (City Attorney) and Daniel Nairn (Senior Planner).

Guests present were Witney Nielsen (Artist) and David Witham and Jake Axtman (Denizen Partners, LLC).

CALL TO ORDER

Chair Christianson called the meeting to order at 4:01 p.m.

**DOWNTOWN DESIGN REVIEW – 625 EAST BROADWAY AVENUE
WITNEY NIELSEN / DENIZEN PARTNERS, LLC – PUBLIC ART MURAL**

Mr. Nairn gave an overview of the staff report and stated that the applicant, Witney Nielsen and Denizen Partners, LLC are requesting Downtown Design Review approval for a mural public art piece on the south wall of the Galleria Parking Ramp at the address of 625 East Broadway Avenue. He stated that the artwork would be a mural of a dog sleeping while having a dream in silhouettes about various things that dogs enjoy and would be adjacent to an area at the Trestle Building that will be used as a dog run for residents of the building. Mr. Nairn stated that the Galleria Parking Ramp is owned by the City of Bismarck and managed by the Bismarck Parking Authority.

Mr. Nairn stated that, based on the findings contained in the staff report, staff recommends approval of the proposed mural design for 625 East Broadway Avenue as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

Mr. Van Orman asked if the artwork sample in the meeting packet is an actual image of the artwork. Mr. Axtman stated that it is generally accurate.

MOTION: A motion was made by Mr. Fink and seconded by Mr. Gawrylow to approve the

proposed mural design for the south wall of the Galleria Parking Ramp at 625 East Broadway Avenue as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation. The motion passed with members Fink, Gawrylow, Van Orman, Zenker and Chair Christianson voting in favor.

Mr. Fink asked who is responsible for maintaining the artwork. Mr. Axtman stated that the City would be held harmless and that Denizen Partners, LLC would attend to maintaining the mural.

Mr. Axtman thanked staff and Authority members for their work and attention to their request.

ADJOURNMENT

There being no further business, the special meeting of the Bismarck Renaissance Zone Authority was adjourned at 4:07 p.m.

Respectfully submitted,

Sandra Bogaczyk
Recording Secretary

Jim Christianson
Chair

Project Summary

<i>Title:</i>	Heartview Recovery Mural (Phase 2)
<i>Status:</i>	Renaissance Zone Authority
<i>Owner(s):</i>	Heartview Foundation Melissa Gordon, artist
<i>Project Contact:</i>	Melissa Gordon, artist
<i>Location:</i>	101 E Broadway Avenue
<i>Request:</i>	Install mural on the west side of the building in the alley



Staff Analysis

Melissa Gordon is requesting Downtown Design Review approval of a mural public art piece at the address of 101 E Broadway Avenue, occupied by the Heartview Foundation. The artwork would be applied to the west wall of the building, facing an alley.



West Wall of 101 E Broadway Ave

The artwork would be comprised of plywood cut-outs of butterflies, each hand-painted by students at Heartview Recovery and affixed to the wall.

A similar mural was approved on the northern end of this wall on August 11, 2022.

The four criteria for approval of public art in Section 14-03.1-03(2)(n) of the City Code of Ordinances are as follows, annotated by compliance:

- a) *"The public art is not installed on any side of a building directly adjacent to a public right-of-way, excluding alleys."*

The subject piece would be installed on the west side, which is facing the alley and not adjacent to a public right-of-way.

- b) *"The public art does not contain any brand name, product name, letters of the alphabet spelling or abbreviating the name of any product, company, profession, or business, or logo, trademark, or other commercial message."*

The subject piece does not contain a commercial message.

- c) *"The public art is not installed on a vacant building or within a vacant lot, unless the property owner has filed a building permit with the intention of occupation or is otherwise actively in the process of*

improving the building or lot for the purpose of occupation.”

The building is occupied as a clinic.

- d) *“The public art is not installed on any original façade of a building listed as a contributing structure of the downtown historic district, unless the art is attached to a removable panel without damage to the underlying historic façade and the artwork meets all other downtown design review requirements pertaining to historic structures.”*

The building is a contributing structure to the Downtown Bismarck Historic District on the National Register of Historic Places. The location of the mural is on a non-historic window infill wall.

Required Findings of Fact (relating to land use)

1. The proposed design conforms to Sections 14-03.1-10, 14-04-21.1, and 14-04-21.2 of

the Bismarck Code of Ordinances, relating to Design Standards within the DC – Downtown Core and DF – Downtown Fringe zoning districts.

2. The proposed design generally conforms to the purpose and intent of the 2015 Downtown Design Guidelines, and other relevant plans and policies.

Staff Recommendation

Based on the above findings, staff recommends approval of the proposed mural design for 101 E Broadway Avenue as presented in all submitted documents and materials, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

Attachments

1. Location Map
2. Submitted design documents

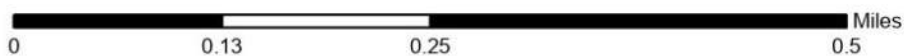
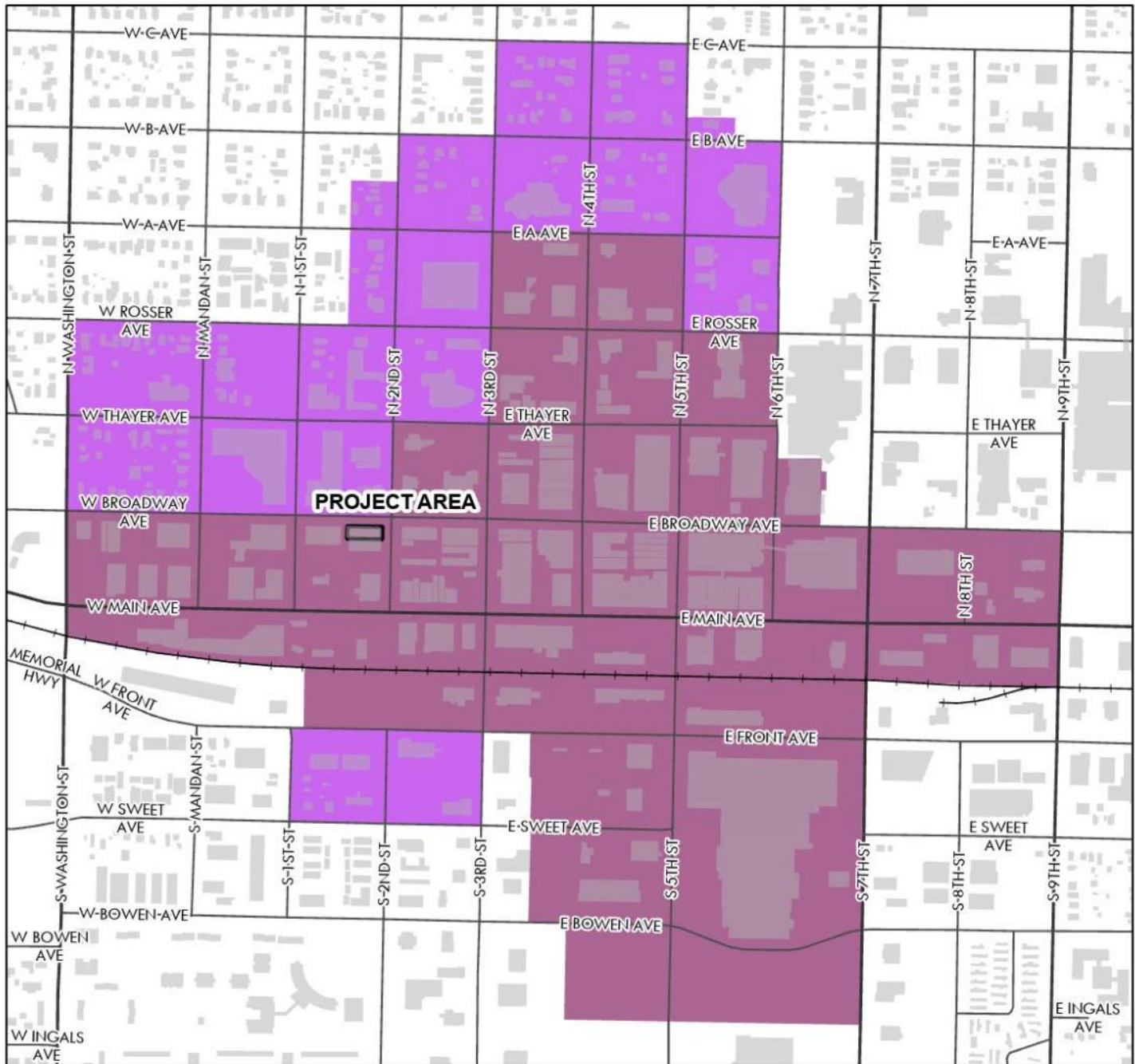
Staff report prepared by: Daniel Nairn, AICP, Senior Planner
701-355-1854 | dnairn@bismarcknd.gov



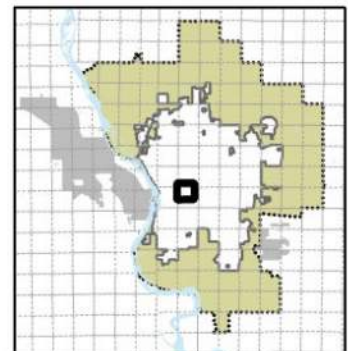
Downtown Design Review Map

HEARTVIEW RECOVERY MURAL (2)

DDR2022-009



DC DOWNTOWN CORE DF DOWNTOWN FRINGE



City of Bismarck
Community Development Dept.
Planning Division
November 29, 2022

This map is for representational use only and does not represent a survey. No liability is assumed as to the accuracy of the data delineated hereon.

HEARTVIEW RECOVERY MURAL PROPOSAL - SOUTH SIDE

Downtown Broadway location - west wall, south end

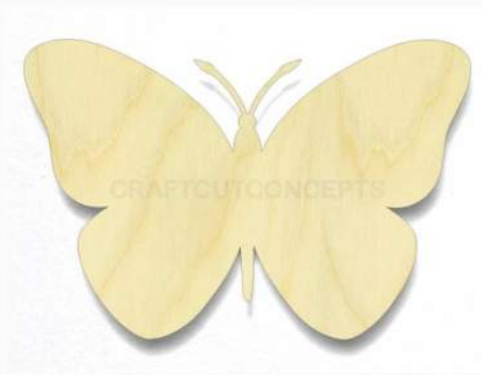
70 Square Feet



Existing wall - proposed space



Wall will be restored and painted to match existing art on north side.



1/4" wooden butterflies will be primed, hand painted by students at Heartview and affixed to the wall



Project Summary

<i>Title:</i>	Downtown Depot Renovation
<i>Status:</i>	Renaissance Zone Authority
<i>Owner(s):</i>	Downtown Depot, LLC
<i>Project Contact:</i>	Cam Knutson
<i>Location:</i>	401 East Main Avenue
<i>Request:</i>	Approve existing mural on the north side of the building in the alley



Staff Analysis

Downtown Depot, LLC is requesting Downtown Design Review approval of renovation of the historic downtown depot building at the address of 401 East Main Avenue. The application only pertains to alteration of the building and façade, and not any improvements to the site.



Downtown Bismarck Depot

The Bismarck Depot was constructed in 1900 and 1901 and is has been listed in the National Register of Historic Places since 1976. It is also a contributing structure to the Downtown Bismarck Historic District. Design requirements in DC – Downtown Core zoning district related to historic

structures apply. The Historic Preservation Commission may be utilized as resource to provide expertise on historic building design.

At one time, the City of Bismarck held an historic preservation easement on this property that was attached to a loan that was granted for rehabilitation work in the 1980s. The stated duration of this easement has lapsed and the terms of the easement are no longer in effect.

The majority of the proposed renovation will occur in the interior of the building. The west wing is proposed for a restaurant, similar to its most recent occupation. The east wing of the first floor, the second floor, and a mezzanine, would be occupied by office tenants. The interior work includes new plumbing, HVAC, electrical systems, and restroom upgrades.

Overall, the exterior alterations are intended to maintain the historic appearance and style of the building.

- Roof repairs would occur. Damaged clay tiles will be removed and replaced with color-matched clay tiles produced by the same manufacturer.

(continued)

- Single-pane wood windows would be replaced with more energy-efficient transparent windows with custom fabrication replicating the historic lattice pattern, with surface-mounted muntins applied to both sides of the glass. The custom fabrication would also be applied to windows on the east wing that were replaced in 2018 without historic features
- Repairs to wood soffits to replace rotted or missing sections
- Cleaning/sealing of areas of the cast-in-place exterior concrete walls.

All new materials would use a terra cotta coloring, similar to the existing accent color of the building. The clay tiles should apply similar random color variations to resemble the existing pattern.

An outdoor seating area surrounded by a metal rail was installed around the west wing in 2018. This is proposed to remain in place.

The following ordinance requirements are relevant to this review:

“Projects involving the remodeling, renovation restoration or rehabilitation of existing historically significant buildings should reflect the original architectural character of the building and its characteristics.”

A majority of the proposed renovation work will have little to no impact on the visual appearance of the exterior of the building. The proposed replacement of the windows is the most significant change, for which the following applies:

“However, if the exterior of an existing historically significant building is being remodeled, renovated or rehabilitated, the size, shape and proportion of the original window openings shall generally be restored or maintained. Replacement windows shall

generally conform with the style of the original windows used in the building.”

The proposed design utilizes all the existing window openings, and no new openings would be created. The proposed replacement windows would match the original style. The ordinance does not require original materials to be used in window replacement.

Adherence to the Secretary of the Interior’s Standards for Historic Preservation is recommended, but not required, by Bismarck’s ordinance. Generally, these standards recommend retaining original windows whenever feasible, and utilizing storm windows to achieve energy efficiency goals. New windows matching the original design may be warranted if the originals are “too deteriorated to repair.” Some, but not all, of these original windows are deteriorated and many have already been removed. Given the desire to restore a cohesive design for the entire building, staff believes that the intent of the historic rehabilitation requirements would be met, as proposed.

Staff Recommendation

Based on the above findings, staff recommends approval of the designs for renovation of the historic downtown depot building at the address of 401 East Main Avenue, with the condition that any substantive revisions to the approved design must be reconsidered by the Downtown Design Review Committee prior to implementation.

Attachments

1. Location Map
2. Submitted Designs

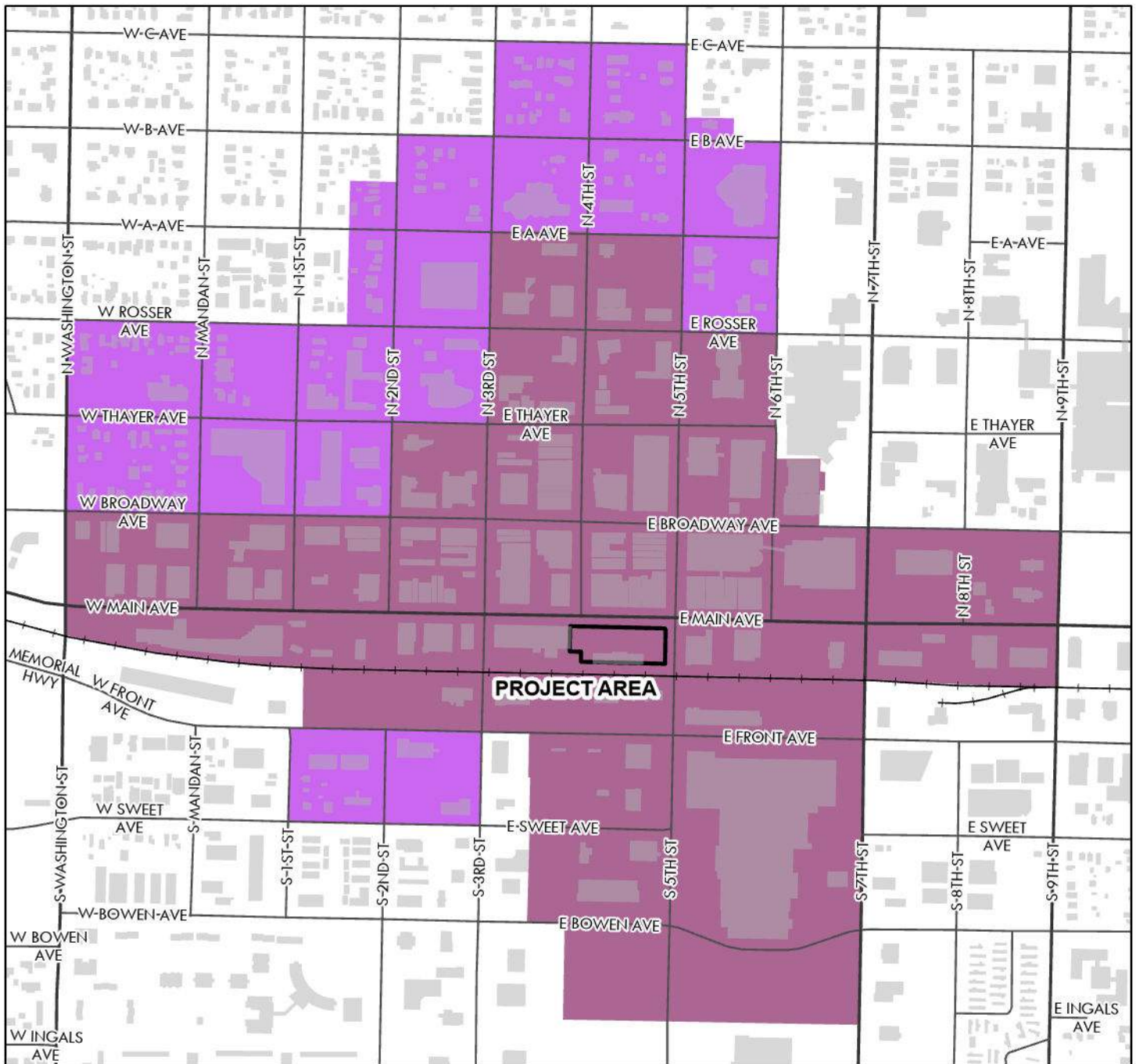
Staff report prepared by: Daniel Nairn, AICP, Senior Planner
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Downtown Design Review Map

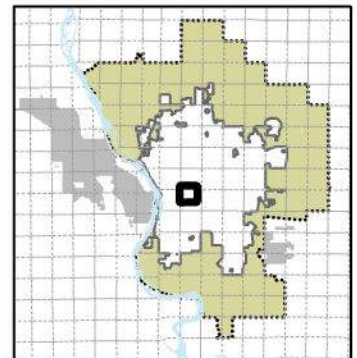
DOWNTOWN DEPOT

DDR2022-010



0 0.13 0.25 0.5 Miles

DC DOWNTOWN CORE DF DOWNTOWN FRINGE



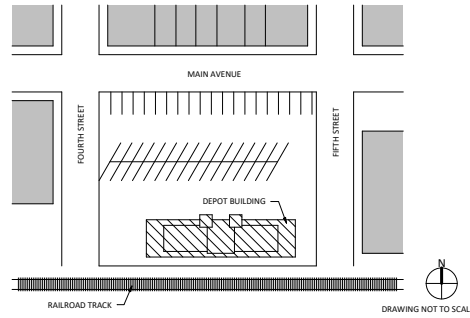
City of Bismarck
Community Development Dept.
Planning Division
November 29, 2022

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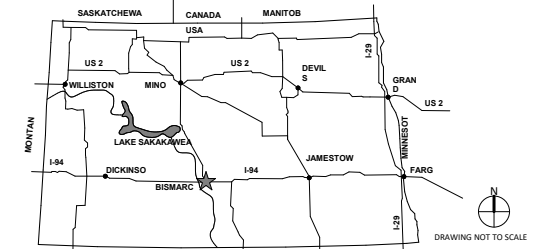
LIST OF ABBREVIATIONS

A/E	ARCHITECT/ENGINEER	EA	EACH	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
AC	ALTERNATING CURRENT	EFIS	EXTERIOR INSULATION FINISH SYSTEM	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
ACI	AMERICAN CONCRETE INSTITUTE	EI	EXPANSION JOINT	OH	OVERHEAD
ACM	ASBESTOS CONTAINING MATERIAL	ELEC	ELECTRIC	OSB	ORIENTED STRAND BOARD
ACT	ACOUSTICAL CEILING TILE	ELEV	ELEVATOR/ELEVATION	PB	PARTICLE BOARD
ADA	AMERICANS WITH DISABILITIES ACT	EP	EPOXY PAINT	PC	PRECAST
AFB	ABOVE FINISH FLOOR	EQ	EQUAL	PLAM	PLASTIC LAMINATE
AHU	AIR HANDLING UNIT	EQUIP	EQUIPMENT	PLAST	PLASTER
ASC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EW	ELECTRIC WATER COOLER	PLYWD	PLYWOOD
ALT	ALTERNATE	EXIST	EXISTING	PREV	PREVIOUS
ALUM	ALUMINUM	FD	FLOOR DRAIN	PT	PAINT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FEC	FIRE EXTINGUISHER CABINET	PTD	PAPER TOWEL DISPENSER
ARCH	ARCHITECT	FF	FINISH FLOOR	RAD	RADIUS
ASI	ARCHITECTURAL SUPPLEMENTAL INSTRUCTION	FFE	FURNITURE, FIXTURE, AND EQUIPMENT	REINF	REINFORCEMENT
AWI	AMERICAN WOODWORKING INSTITUTE	FHC	FIRE HOSE CABINET	REQD	REQUIRED
BD	BOARD	FIN	FINISH	REV	REVERSE
BLDG	BUILDING	FLR	FLOOR	RM	ROOM
BM	BEAM	FND	FOUNDATION	RO	ROUGH OPENING
BOT	BOTTOM	FTG	FOOTING	RTU	ROOF TOP UNIT
BRG	BEARING	FWC	FABRIC WALL COVERING	SD	SMOKE DETECTOR
BTU	BRITISH THERMAL UNITS	GALV	GALVANIZED	SECT	SECTION
BUR	BUILT UP ROOFING	GC	GENERAL CONTRACTOR	SHT	SHEET
CAB	CABINET	GEN	GENERAL	SIM	SIMILAR
CB	CATCH BASIN	GL	GLASS OR GLAZING	SPO	SOAP DISPENSER
CG	CORNER GUARD	GWB	GYP/SUM WALL BOARD	SPEC	SPECIFICATIONS
CI	CAST IRON	HB	HOSE BIB	SQ	SQUARE
CIP	CAST IN PLACE	HCP	HANDICAP	SUSP	SUSPEND
CJ	CONTROL JOINT	HDW	HARDWARE	TC	THIN COAT
CLG	CEILING	HDWD	HARDWOOD	TEMP	TEMPORARY/TEMPERATURE
CLR	CLEAR	HM	HOLLOW METAL	TO	TOP OF
CMU	CONCRETE MASONRY UNIT	HORZ	HORIZONTAL	TP	TOILET PARTITIONS
CO	CLEAN OUT	HT	HEIGHT	TPD	TOILET PAPER DISPENSER
CONC	CONCRETE	IBC	INTERNATIONAL BUILDING CODE	TRTD	TREATED
CPT	CARPET	INSUL	INSULATION	TS	TRANSITION STRIP
CSMT	CASEMENT	JAN	JANITOR	TYP	TYPICAL
CSWK	CASEWORK	LAM	LAMINATE	UL	UNDERWRITERS LABORATORIES
CT	CERAMIC TILE	LAV	LAVATORY	UNO	UNLESS NOTED OTHERWISE
CUH	CABINET UNIT HEATER	MAS	MASONRY	VCT	VINYL COMPOSITION TILE
CWT	CERAMIC WALL TILE	MB	MARKERBOARD	W/	WITH
DEMO	DEMOLITION	MDP	MEDIUM DENSITY FIBERBOARD	WD	WOOD
DEPT	DEPARTMENT	MECH	MECHANICAL	WOW	WINDOW
DF	DRINKING FOUNTAIN	MH	MANHOLE		
DIA	DIAMETER	ML	MATCHLINE		
DIAG	DIAGONAL	MTL	METAL		
DIM	DIMENSION	MTL STD	METAL STUD		
DIST	DISTANCE	STD	STANDARD		
DOC	DOCUMENT	NC	NON COMBUSTIBLE		
DR	DOOR	NIC	NOT IN CONTRACT		
DTL	DETAIL	NOM	NOMINAL		
DW	DISHWASHER	NTS	NOT TO SCALE		
DWG	DRAWING	OC	ON CENTER		

PROJECT VICINITY MAP - BISMARCK



PROJECT VICINITY MAP - ND



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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

SYMBOLS LEGEND

ROOM IDENTIFICATION TAG

ROOM NAME ROOM NUMBER
101

OPENING IDENTIFICATION TAGS

DOOR NUMBER
WINDOW IDENTIFICATION
CURTAINWALL / STOREFRONT IDENTIFICATION

COLUMN / GRID IDENTIFICATION

NEW COLUMN / STRUCTURAL GRID
EXISTING COLUMN / STRUCTURAL GRID

NAME ELEVATION DATUM

NORTH ARROW
PROJECT NORTH
TRUE NORTH

ASSEMBLY IDENTIFICATION

INTERIOR WALL TAG
EXTERIOR WALLS, FLOORS & ROOFS - SEE SHEET G001 FOR ASSEMBLY IDENTIFICATION

MATERIAL/OBJECT IDENTIFICATION

MAT'L ID'S
REVISION DELTA
REVISION NUMBER

DRAWING IDENTIFICATION

DRAWING NUMBER
DRAWING NAME
DRAWING SCALE
44 View Name
SCALE 1/8" = 1'-0"

BUILDING SECTION IDENTIFICATION

DRAWING NUMBER
DIRECTION OF VIEW FROM CUT
LINE OF CUT
SHEET NUMBER
1-A301

WALL SECTION IDENTIFICATION

DRAWING NUMBER
LINE OF CUT
SHEET NUMBER
1-A301

DETAIL SECTION IDENTIFICATION

DRAWING NUMBER
LINE OF CUT
SHEET NUMBER
1-A301

INDEX OF DRAWINGS

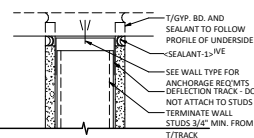
SHEET NUMBER	SHEET NAME
GENERAL	
G100	TITLE SHEET
G101	TYPICAL ASSEMBLIES
G110	LIFE SAFETY PLAN
G111	CODE REVIEW
G120	MOUNTING HEIGHTS
ARCHITECTURE	
A100	EXISTING FLOOR PLANS
A201	FLOOR PLANS
A210	ENLARGED PLANS & ELEVATIONS
A300	EXTERIOR ELEVATIONS

D
C
B
A

11/10/2022 8:01:28 PM

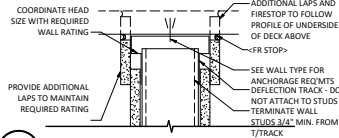
5D
G101

NON-RATED PARTITION HEAD
SCALE: 3" = 1'-0"



4D
G101

RATED PARTITION HEAD
SCALE: 3" = 1'-0"



INTERIOR PARTITION LEGEND

- PARTITION CLASSIFICATION
CORE (STRUCTURE) SIZE
- SMOKE RATING
FIRE RATING (IN HOURS)
- PARTITION CLASSIFICATIONS:
- A ACOUSTIC FULL HEIGHT GYP. BD. WALL
 - F SINGLE SIDED GYP. BD. WALLS
 - M MASONRY WALLS
 - P PARTITION WALLS (TERMINATE 6" ABOVE CEILING)
 - S SHAFT WALLS

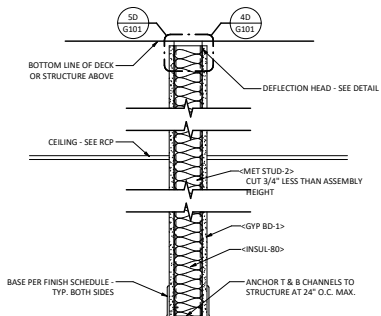
PROJECT MATERIAL ID LIST	
MATERIAL ID	SPEC. SECTION & DESCRIPTION
ALUM STOR-1	08 4313 - ALUMINUM FRAMED STOREFRONT
CMU-1	04 2000 - NORMAL WEIGHT CMU
FR STOP	07 8400 - THROUGH PENETRATION FIRESTOPPING
GYP BD-1	09 2116 - 5/8" FIRE-RATED TYPE 'X' GYPSUM BOARD
INSUL-36	07 2119 - CLOSED CELL SPRAY FOAM INSULATION
INSUL-80	09 2116 - ACOUSTICAL BATT INSULATION
MET STUD-2	09 2116 - NON-LOAD BEARING STEEL STUDS, 20 GA.
MET STUD-5	09 2116 - C-H SHAFTWALL STUDS
SEALANT-1	07 9005 - JOINT SEALANT OR CAULKING
SEALANT-2	07 9005 - JOINT SEALANT OR CAULKING WITH BACKER ROD
TEMP GL-2	08 8000 - CLEAR TEMPERED GLASS, 1/2" THICK
VPR RET-4	03 3000 - 15 MIL UNDERSLAB VAPOR RETARDER
WD BKG	06 1000 - EXPOSED OR CONCEALED WOOD BLOCKING
WD SHTG-30	06 1000 - 1/2" PLYWOOD, GRADE C-C
WD SHTG-34	06 1000 - 3/4" PLYWOOD, GRADE C-C
WD TRIM-1	06 2000 - WOOD TRIM



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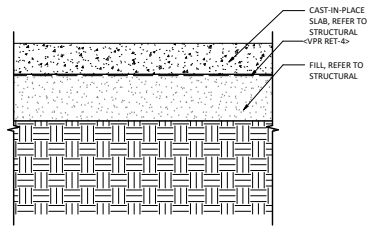
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE



PARTITION TYPE A							
WALL TAG	STUD SIZE & SPACING	WIDTH	G.B. THK (EA. SIDE)	INSUL THICK.	RATING	UL NO.	COMMENTS
A4	3 5/8" M.S. @ 16" O.C.	4 7/8"	5/8"	FILL CAVITY	0HR	--	--
A6	6" M.S. @ 16" O.C.	6 3/4"	5/8"	FILL CAVITY	0HR	--	--

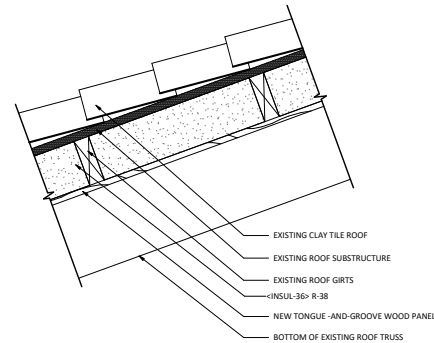
17
3A
G101

F1 - SLAB ON GRADE
SCALE: 1 1/2" = 1'-0"



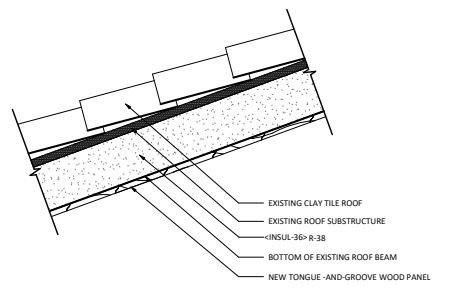
2B
G101

R1
SCALE: 1 1/2" = 1'-0"



2A
G101

R2
SCALE: 1 1/2" = 1'-0"



KNUTSON REALTY
BISMARCK DEPOT RENOVATION
BISMARCK, NORTH DAKOTA

DATE
11/11/2022

PROJECT
CONSTRUCTION DOCUMENTS

SHEET
JLG 21345

G101
TYPICAL ASSEMBLIES

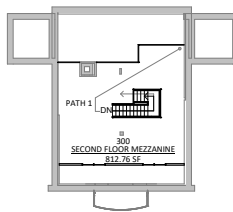
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D

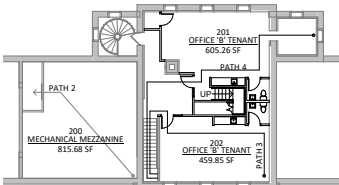
C

B

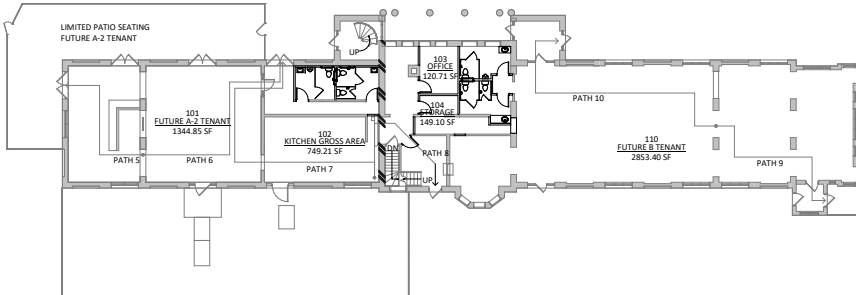
A



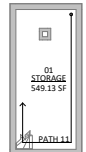
6D
6110 SECOND FLOOR MEZZANINE LIFE SAFETY PLAN
SCALE: 1/2" = 1'-0"



6C
6110 SECOND FLOOR LIFE SAFETY PLAN
SCALE: 1/2" = 1'-0"



6B
6110 FIRST FLOOR LIFE SAFETY PLAN
SCALE: 1/2" = 1'-0"



6A
6110 BASEMENT LIFE SAFETY PLAN
SCALE: 1/2" = 1'-0"

TRAVEL DISTANCE	
PATH ID	TRAVEL DISTANCE
1	56'-8"
2	35'-6"
3	67'-11"
4	85'-9"
5	37'-9"
6	59'-3"
7	78'-1"
8	39'-6"
9	47'-4"
10	74'-3"
11	55'-8"

LIFE SAFETY PLAN LEGEND

1 HOUR FIRE RATED WALL

2 HOUR FIRE RATED WALL

3 HOUR FIRE RATED WALL

4 HOUR FIRE RATED WALL

1 HOUR FIRE & SMOKE RATED WALL

2 HOUR FIRE & SMOKE RATED WALL

3 HOUR FIRE & SMOKE RATED WALL

4 HOUR FIRE & SMOKE RATED WALL

NUMBER

ELEMENT ID NUMBER

WIDTH

EGRESS WIDTH

FACTOR

EGRESS FACTOR

CAPACITY

EGRESS CAPACITY

LOAD

ELEMENT ID NUMBER

AREA SCHEDULE - FIRST FLOOR							
NUMBER	NAME	AREA	OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)	FUNCTION OF SPACE	IBC CHAPTER 10		REMARKS
					FLOOR AREA PER OCCUPANT	MAX. ALLOWABLE OCCUPANT LOAD	
BASEMENT							
01	STORAGE	549 SF	A-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300	GROSS	2
FIRST FLOOR							
101	FUTURE A-2 TENANT	1,345 SF	A-2	ASSEMBLY - W/O FIXED SEATING - UNCONCENTRATED	15	NET	90
102	KITCHEN GROSS AREA	749 SF	A-2	KITCHEN, COMMERCIAL	200	GROSS	4
103	OFFICE	121 SF	A-2	BUSINESS AREA	150	GROSS	1
104	STORAGE	149 SF	A-2	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300	GROSS	1
110	FUTURE B TENANT	2,853 SF	B	BUSINESS AREA	150	GROSS	20
SECOND FLOOR							
200	MECHANICAL MEZZANINE	816 SF	UNOCCUPIED	ACCESSORY STORAGE, MECH EQUIPMENT ROOM	300	GROSS	3
201	OFFICE 'B' TENANT	605 SF	B	BUSINESS AREA	150	GROSS	5
202	OFFICE 'B' TENANT	460 SF	B	BUSINESS AREA	150	GROSS	4
SECOND FLOOR MEZZANINE							
300	SECOND FLOOR MEZZANINE	813 SF	B	BUSINESS AREA	150	GROSS	6
		8,460 SF					

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BISMARCK, NORTH DAKOTA

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11/11/2022

CONSTRUCTION DOCUMENTS

PROJECT
JLG 21345

SHEET
G110
LIFE SAFETY PLAN

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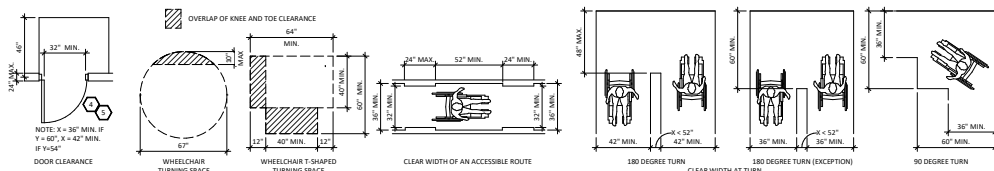
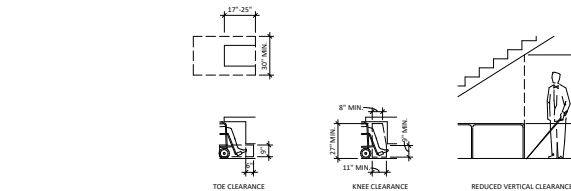
D

C

B

A

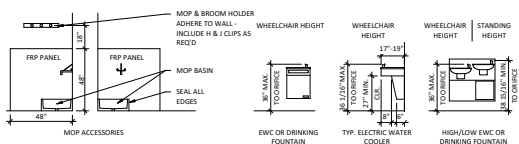
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MOUNTING HEIGHTS AND HORIZONTAL CLEARANCES

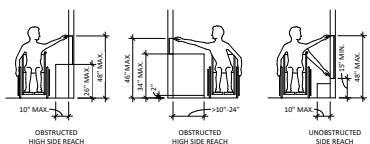


MOUNTING HEIGHTS - FIRE PROTECTION

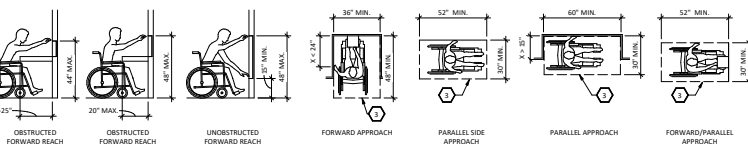


MOUNTING HEIGHTS - MISCELLANEOUS PLUMBING

MOUNTING HEIGHTS - RAILING EXTENSIONS



MOUNTING HEIGHTS - TOILET ROOMS



MOUNTING HEIGHTS - REACHES

MOUNTING HEIGHT KEYNOTES

- CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE (ACCESSIBLE) OF TOILET AREAS NO MORE THAN 44 IN ABOVE THE FLOOR.
- INSTALL TOILET PAPER DISPENSERS 19" TO CENTERLINE OF DISPENSER ABOVE FINISHED FLOOR. DISPENSERS THAT CONTROL DELIVERY ARE NOT PERMITTED.
- HATCHED OR DASHED SPACE INDICATES REQUIRED CLEAR FLOOR SPACE.
- DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN WITH THE DOOR OPEN 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND STOP.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS.
- GRAB BARS SHALL BE PROVIDED AT ALL ACCESSIBLE TOILET AREAS. MOUNT AT HEIGHT SHOWN AND DO NOT OBSTRUCT ANY REQUIRED CLEARANCES.
- A CLEAR FLOOR SPACE OF 30 IN BY 48 IN SHALL BE PROVIDED TO ALLOW FORWARD APPROACH. URINAL SHIELDS THAT DO NOT EXTEND BEYOND THE FRONT END OF THE URINAL RIM MAY BE PROVIDED WITH 29 IN CLEARANCE BETWEEN THEM.
- URINALS SHALL BE WALL-HUNG WITH AN ELONGATED RIM AT A MAXIMUM OF 17 IN ABOVE THE FLOOR.
- FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND MOUNTED NO MORE THAN 44 IN ABOVE THE FLOOR.
- CONTROLS
- A CLEAR FLOOR SPACE OF 30 IN BY 48 IN SHALL BE PROVIDED TO ALLOW FORWARD APPROACH.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- TOILET PAPER DISPENSERS AND SANITARY PRODUCT DISPOSAL.
- SHOWER STALL SIZE SHALL BE 36 IN BY 36 IN MINIMUM. CLEAR FLOOR SPACE SHALL BE 36 IN MINIMUM IN DWELLING UNIT.
- A SEAT SHALL BE PROVIDED IN SHOWER STALLS 36 IN BY 36 IN AS INDICATED ABOVE. THE SEAT SHALL BE ON THE WALL OPPOSITE THE CONTROLS. STRUCTURAL STRENGTH OF SEATS AND THE ATTACHMENT MUST COMPLY WITH CODE.
- IF PROVIDED, CURBS IN SHOWER STALLS 36 IN BY 36 IN SHALL BE NO HIGHER THAN 1/2 IN.
- LOCATE CONTROLS AND GRAB BARS.
- COUNTER
- OBJECTS PROJECTING FROM WALLS WITH LEADING EDGES 27-80" ABOVE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES
- FAUCETS, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB. IF SELF-CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
- A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 60 IN LONG THAT CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED.
- ELEVATOR SUPPLIER/MANUFACTURER/INSTALLER TO VERIFY CODE REQUIREMENTS.



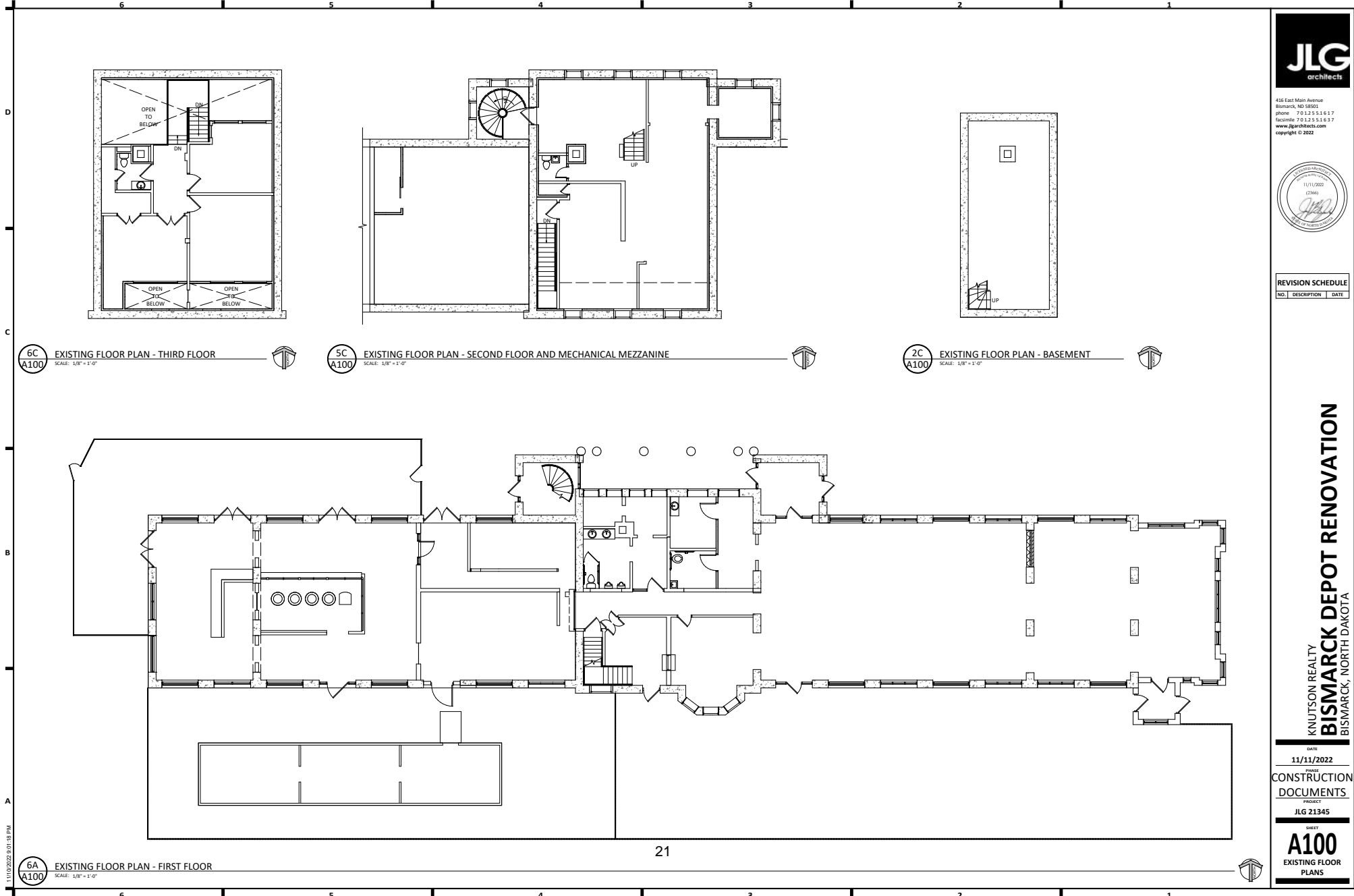
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KNUTSON REALTY
BISMARCK DEPOT RENOVATION
BISMARCK, NORTH DAKOTA

DATE
11/11/2022
CONSTRUCTION DOCUMENTS
PROJECT
JLG 21345
SHEET
G120
MOUNTING HEIGHTS



6C
A100

EXISTING FLOOR PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0"

5C
A100

EXISTING FLOOR PLAN - SECOND FLOOR AND MECHANICAL MEZZANINE

SCALE: 1/8" = 1'-0"

2C
A100

EXISTING FLOOR PLAN - BASEMENT

SCALE: 1/8" = 1'-0"

6A
A100

EXISTING FLOOR PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0"



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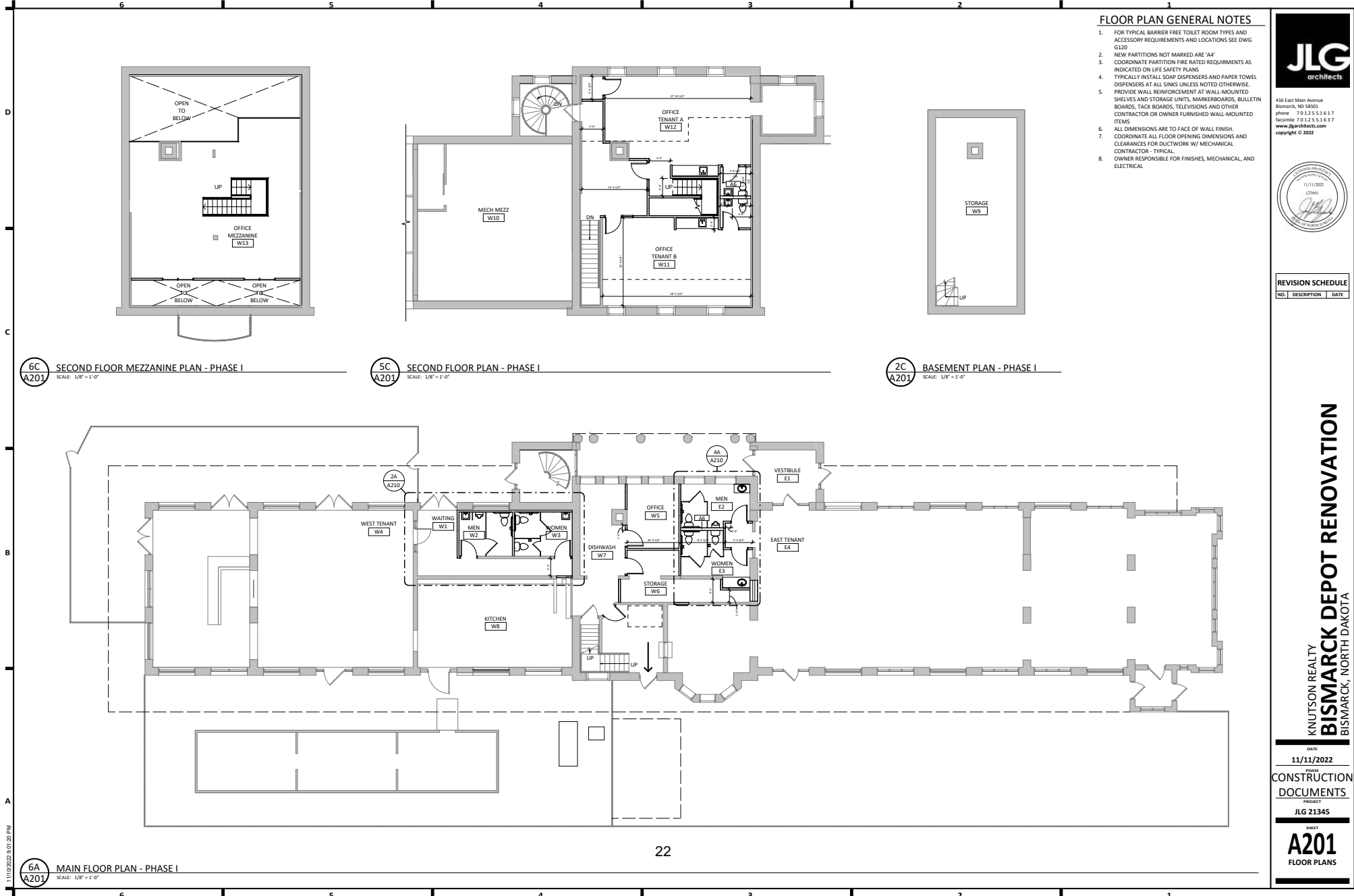
DATE
11/11/2022

PROJECT
CONSTRUCTION DOCUMENTS

PROJECT
JLG 21345

SHEET
A100
EXISTING FLOOR PLANS

11/10/2022 8:01:18 PM



FLOOR PLAN GENERAL NOTES

1. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORY REQUIREMENTS AND LOCATIONS SEE DWG G120
2. NEW PARTITIONS NOT MARKED ARE 'A'
3. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON LIFE SAFETY PLANS
4. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSERS AT ALL SINKS UNLESS NOTED OTHERWISE.
5. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS
6. ALL DIMENSIONS ARE TO FACE OF WALL FINISH.
7. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.
8. OWNER RESPONSIBLE FOR FINISHES, MECHANICAL, AND ELECTRICAL



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PROJECT
CONSTRUCTION DOCUMENTS

PROJECT
JLG 21345

SHEET
A201
FLOOR PLANS

11/10/2022 8:01:20 PM

D
C
B
A

11/10/2022 8:01:22 PM

6 5 4 3 2 1

6 5 4 3 2 1

FLOOR PLAN GENERAL NOTES

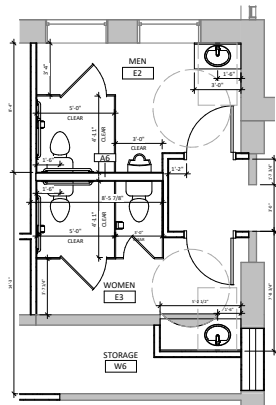
1. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORY REQUIREMENTS AND LOCATIONS SEE DWG G120
2. NEW PARTITIONS NOT MARKED ARE 14"
3. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON LIFE SAFETY PLANS
4. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSERS AT ALL SINKS UNLESS NOTED OTHERWISE.
5. PROVIDE WALL REINFORCEMENT AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKERBOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS
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8. OWNER RESPONSIBLE FOR FINISHES, MECHANICAL, AND ELECTRICAL



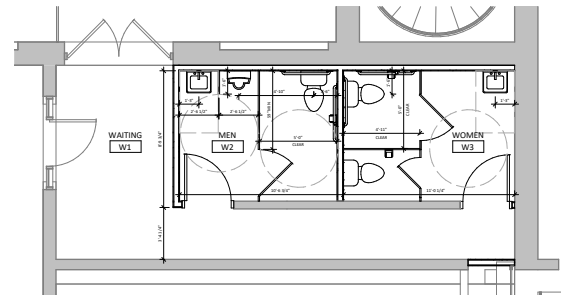
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23
EAST TENANT RESTROOMS
SCALE: 1/4" = 1'-0"



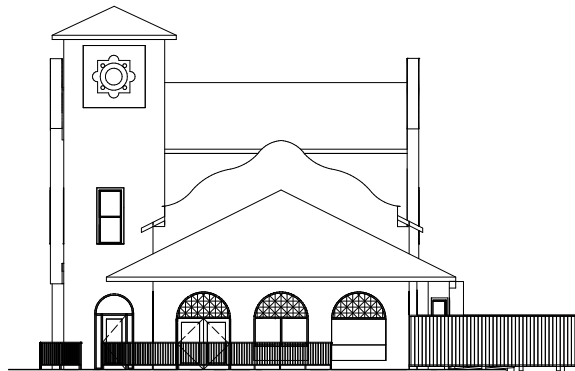
2A
WEST TENANT RESTROOMS
SCALE: 1/4" = 1'-0"



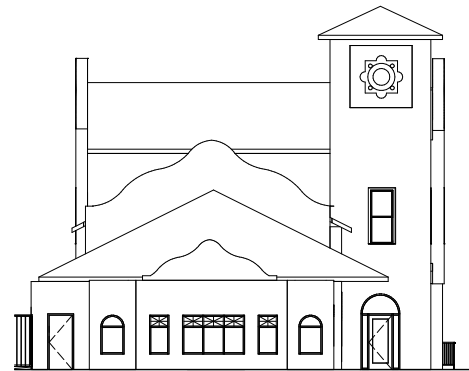
KNUTSON REALTY
BISMARCK DEPOT RENOVATION
BISMARCK, NORTH DAKOTA

DATE: 11/11/2022
CONSTRUCTION DOCUMENTS
PROJECT: JLG 21345
SHEET: **A210**
ENLARGED PLANS & ELEVATIONS

11/10/2022 8:01:24 PM



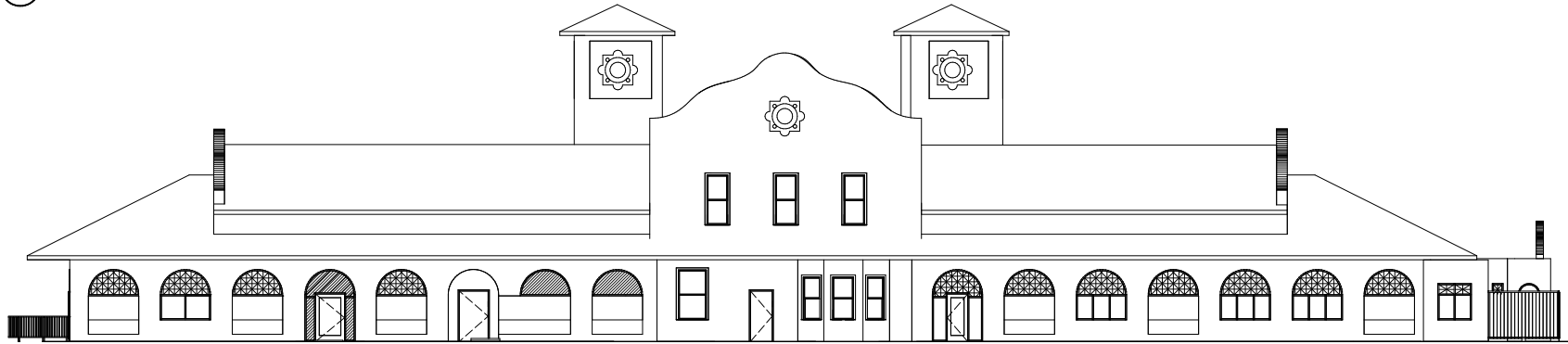
6C
A300
OVERALL WEST ELEVATION
SCALE: 1/8" = 1'-0"



2C
A300
OVERALL EAST ELEVATION
SCALE: 1/8" = 1'-0"



6B
A300
OVERALL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



6A
A300
OVERALL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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BISMARCK, NORTH DAKOTA

DATE
11/11/2022

CONSTRUCTION
DOCUMENTS

PROJECT
JLG 21345

SHEET
A300
EXTERIOR
ELEVATIONS

Project Summary

<i>Title:</i>	Johnnie's Service and Speed Shop Mural
<i>Status:</i>	Renaissance Zone Authority
<i>Owner(s):</i>	Johnnies Service and Speed Shop
<i>Project Contact:</i>	Bob Petryczyn
<i>Location:</i>	102 East Main Avenue
<i>Request:</i>	Approve existing mural on the north side of the building in the alley



Staff Analysis

Bob Petryczyn is requesting Downtown Design Review approval of a mural public art piece at the address of 102 East Main Avenue, occupied by Johnnie's Service and Speed Shop. The artwork is applied to the north wall of the building, facing an alley.

The artwork was painted in the Summer of 2022 by a travelling artist, Kyle Holbrook, as part of a grant-funded project to stop gun violence. Neither the artist nor property owner were aware of Design Review requirements, so approval is being sought for a completed project.

The four criteria for approval of public art in Section 14-03.1-03(2)(n) of the City Code of Ordinances are as follows, annotated by compliance:

- a) *"The public art is not installed on any side of a building directly adjacent to a public right-of-way, excluding alleys."*

The subject piece would be installed on the north side, which is facing the alley and not adjacent to a public right-of-way.

- b) *"The public art does not contain any brand name, product name, letters of the*

alphabet spelling or abbreviating the name of any product, company, profession, or business, or logo, trademark, or other commercial message."

The subject piece does not contain a commercial message.

- c) *"The public art is not installed on a vacant building or within a vacant lot, unless the property owner has filed a building permit with the intention of occupation or is otherwise actively in the process of improving the building or lot for the purpose of occupation."*

The building is occupied as a motor vehicle service station.

- d) *"The public art is not installed on any original façade of a building listed as a contributing structure of the downtown historic district, unless the art is attached to a removable panel without damage to the underlying historic façade and the artwork meets all other downtown design review requirements pertaining to historic structures."*

The building is not historic.

(continued)

Required Findings of Fact (relating to land use)

1. The proposed design conforms to Sections 14-03.1-10, 14-04-21.1, and 14-04-21.2 of the Bismarck Code of Ordinances, relating to Design Standards within the DC – Downtown Core and DF – Downtown Fringe zoning districts.
2. The proposed design generally conforms to the purpose and intent of the 2015 Downtown Design Guidelines, and other relevant plans and policies.

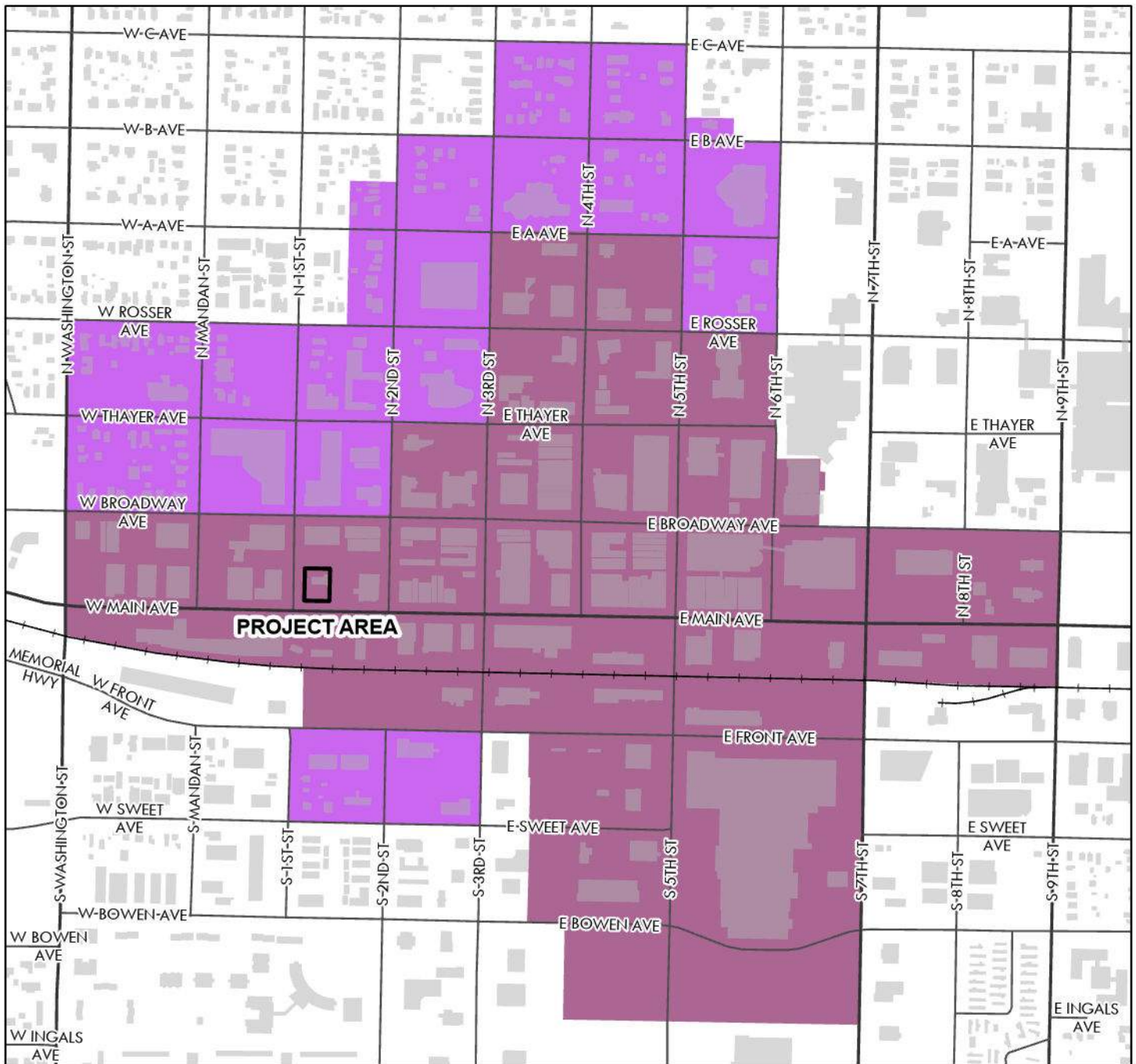
Staff Recommendation

Based on the above findings, staff recommends approval of the completed mural design for 102 East Main Avenue as presented in all submitted documents and materials.

Attachments

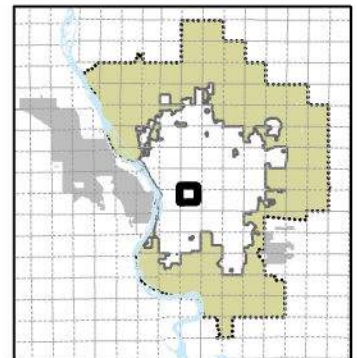
1. Location Map
2. Photo of installed artwork

Staff report prepared by: Daniel Nairn, AICP, Senior Planner
701-355-1854 | dnairn@bismarcknd.gov



0 0.13 0.25 0.5 Miles

DC DOWNTOWN CORE DF DOWNTOWN FRINGE



City of Bismarck
Community Development Dept.
Planning Division
November 29, 2022

This map is for representational use only and does not represent a survey. No liability is assumed as to the accuracy of the data delineated herein.

Mural on 125 N Main Avenue



BISMARCK RENAISSANCE ZONE PROGRAM - PROJECT STATUS

State ID	Applicant	Street Address	Project Type	Status	RZA Hearing	Commission Review	State Approval	Completion Date	Proposed Investment	Verified Actual Investment	Initial Building Value	Estimated Building Value w/Investment
001-B	George T. Duemeland Revocable Trust	301 East Thayer Avenue	Purchase w/ Improve	Completed	12/10/02	12/17/02	01/02/03	12/01/03	\$44,366	\$66,397	\$77,000	\$150,000
002-B	Dakota Building Partnership	501 East Main Avenue	Purchase w/ Improve	Completed	01/06/03	01/07/03	02/26/03	01/31/07	\$300,000	\$284,195	\$444,200	\$540,000
003-B	Civic Square Development LLC	521 East Main Avenue	Purchase w/ Improve	Completed	02/07/03	02/11/03	04/21/03	12/31/07	\$600,000	\$618,111	\$500	\$500,000
004-B	Duemelands Commercial LLLP	301 East Thayer Avenue	Lease	Completed	07/14/03	07/22/03	09/25/03	12/01/03	N/A	N/A	N/A	N/A
005-B	John & Barbara Grinsteiner	200 North Mandan Street	Purchase	Completed	10/07/03	10/14/03	10/16/03	10/17/03	\$5,000	N/A	\$43,300	\$77,500
006-B	Woodmansee's, Inc.	114 North 4th Street	Rehabilitation	Completed	10/30/03	11/15/03	11/21/03	01/26/05	\$125,000	\$129,333	\$49,900	\$120,000
007-B	Bertsch Properties LLC	207 East Front Avenue	Rehabilitation	Completed	11/19/03	11/25/03	12/03/03	01/19/05	\$601,600	\$734,707	\$371,200	\$1,455,000
008-B	Northland Financial	207 East Front Avenue	Lease	Completed	11/19/03	11/25/03	12/03/03	09/16/04	N/A	N/A	N/A	N/A
009-B	Bertsch Properties LLC	218 South 3rd Street	Rehabilitation	Completed	11/19/03	11/25/03	12/03/03	01/20/05	\$329,150	\$378,013	\$142,300	\$840,000
010-B	Lee Enterprises Inc.	707 East Front Avenue	Rehabilitation	Completed	12/15/03	12/16/03	12/29/03	10/26/05	\$2,256,624	\$2,400,776	\$2,508,200	\$4,408,200
011-B	PJCM Partners, LLP	901/907 East Front Avenue	Rehabilitation	Completed	03/03/04	03/23/04	03/29/04	06/30/05	\$298,840	\$409,846	\$151,300	\$420,000
012-B	Gartner's Capital Shoe Hospital	302 East Thayer Avenue	Rehabilitation	Completed	05/25/04	05/25/04	06/04/04	12/06/05	\$85,000	\$103,455	\$49,900	\$125,000
013-B	AW Enterprises	216 North 2nd Street	Rehabilitation	Completed	08/10/04	08/10/04	08/18/04	06/22/05	\$208,814	\$263,473	\$173,500	\$275,000
014-B	Daryl Rosenau & Clarence Sayler	225 West Broadway Avenue	Purchase	Completed	02/07/05	02/08/05	02/16/05	12/26/07	\$69,550	\$70,002	\$167,000	\$182,500
015-B	J & L Development, Inc.	324 North 3rd Street	Rehabilitation	Completed	11/15/04	12/14/04	02/16/05	09/15/06	\$750,000	\$698,396	\$500,000	\$900,000
016-B	Pirogue Grille, Inc.	121 North 4th Street	Lease	Completed	03/02/05	03/08/05	03/22/05	08/24/05	N/A	N/A	N/A	N/A
017-B	Zorells Jewelry Inc.	221 South 9th Street	New Construction	Completed	09/20/04	03/08/05	03/22/05	07/30/05	\$200,000	\$191,898	\$20,100	\$200,000
019-B	CCC Properties, LLLP	310 South 5th Street	Purchase	Completed	08/25/05	09/13/05	09/21/05	07/01/06	\$168,000	\$298,372	\$410,400	\$450,000
020-B	American Bank Center	320 North 4th Street	Rehabilitation	Completed	09/21/05	09/27/05	10/04/05	08/01/09	\$3,100,000	\$2,301,478	\$809,500	\$2,000,000
021-B	Foot Care Associates PC	310 South 5th Street	Lease	Completed	01/12/06	01/24/06	02/03/05	04/01/06	N/A	N/A	N/A	N/A
022-B	Dentyne, Inc. (Bakke & Roller)	310 South 5th Street	Lease	Completed	01/12/06	01/24/06	02/03/05	03/13/06	N/A	N/A	N/A	N/A
023-B	Duemelands Properties, LLLP	302 South 3rd Street	Purchase	Completed	01/12/06	02/14/06	02/16/06	12/01/06	\$190,900	\$227,295	\$312,700	\$345,000
024-B	Duemelands Properties, LLLP	312 South 3rd Street	New Construction	Completed	01/12/06	02/14/06	02/16/06	12/01/06	\$215,223	\$233,855	\$0	\$250,000
025-B	Makoché Media, LLC	208 North 4th Street	Purchase	Completed	01/12/06	02/14/06	02/16/06	12/27/07	\$71,612	\$91,672	\$247,000	\$320,000
026-B	River Q, LLC	312 South 3rd Street	Lease	Completed	04/13/06	04/25/06	05/05/06	12/04/06	N/A	N/A	N/A	N/A
027-B	Gem Group LLC	412 East Main Avenue	Rehabilitation	Completed	05/23/06	05/23/06	05/30/06	10/20/06	\$40,000	\$50,292	\$47,800	\$75,000
028-B	Heartland Mortgage Company	412 East Main Avenue	Lease	Completed	05/23/06	05/23/06	05/30/06	07/01/06	N/A	N/A	N/A	N/A
029-B	Bismarck MSA dba Verizon Wireless	302 South 3rd Street	Lease	Completed	07/24/06	07/25/06	08/02/06	09/14/06	N/A	N/A	N/A	N/A
030-B	Main Avenue Properties, LLC	122 East Main Avenue	New Construction	Completed	10/09/06	10/10/06	12/05/06	12/17/07	\$3,020,590	\$2,370,152	\$0	\$3,200,000
031-B	Dakota Office Building, LLC	300 North 4th Street	Purchase	Completed	02/05/07	02/13/07	02/20/07	01/30/08	\$250,000	\$407,003	\$1,095,900	\$1,400,000
032-B	American Legal Services PC	521 East Main Avenue	Lease	Completed	04/02/07	04/10/07	04/19/07	08/01/07	N/A	N/A	N/A	N/A
033-B	Internet Design & Consulting	521 East Main Avenue	Lease	Completed	04/02/07	04/10/07	04/24/07	08/01/07	N/A	N/A	N/A	N/A
034-B	Larson Latham Heutle LLP	521 East Main Avenue	Lease	Completed	05/14/07	05/22/07	06/08/07	07/01/07	N/A	N/A	N/A	N/A
035-B	Retirement Consulting LLC	521 East Main Avenue	Lease	Completed	05/14/07	05/22/07	06/08/07	07/01/07	N/A	N/A	N/A	N/A
036-B	Jason Kirchmeier & Associates	501 East Main Avenue	Lease	Completed	06/20/07	06/26/07	07/11/07	08/01/07	N/A	N/A	N/A	N/A
037-B	Roger Koski & Associates	501 East Main Avenue	Lease	Completed	06/20/07	06/26/07	07/11/07	08/01/07	N/A	N/A	N/A	N/A
038-B	Melvie Financial Planning	501 East Main Avenue	Lease	Completed	06/20/07	06/26/07	07/11/07	08/01/07	N/A	N/A	N/A	N/A
039-B	Westgard Financial Services	501 East Main Avenue	Lease	Completed	06/20/07	06/26/07	07/11/07	08/01/07	N/A	N/A	N/A	N/A
040-B	Rainmaker Gusto Ventures, LLC	116 North 5th Street	Purchase w/ Improve	Completed	09/04/07	09/11/07	10/30/07	05/21/08	\$137,500	\$142,050	\$166,800	\$300,000
041-B	The Rainmaker Group, Inc.	116 North 5th Street	Lease	Completed	11/14/07	12/18/07	12/27/07	06/12/08	N/A	N/A	N/A	N/A
044-B	Rick & Theresa Keimele	413 East Broadway Avenue	Rehabilitation	Completed	11/14/07	12/18/07	01/11/08	10/01/08	\$136,836	\$176,955	\$184,400	\$263,500
045-B	Centennial Plaza, LLC	116 North 4th Street	Purchase	Completed	12/05/07	12/18/07	01/22/08	01/29/09	\$238,000	\$167,894	\$803,100	\$1,047,600
046-B	Westley's Inc.	423 East Broadway Avenue	Lease	Completed	02/21/08	03/11/08	03/19/08	07/14/08	N/A	N/A	N/A	N/A
047-B	Depot Associates	401 East Main Avenue	Rehabilitation	Completed	04/18/08	05/13/08	05/28/08	07/01/09	\$200,000	\$243,344	\$372,300	\$600,000
048-B	FV Restaurant, Inc.	401/411 East Main Avenue	Lease	Completed	04/18/08	05/13/08	05/28/08	06/27/08	N/A	N/A	N/A	N/A
049-B	T. Casey Cashman	523 North 1st Street	Rehabilitation	Completed	05/12/08	05/27/08	06/12/08	12/15/08	\$25,000	\$23,375	\$103,100	\$130,000
050-B	Starion Financial	333 North 4th Street	Rehabilitation	Completed	05/12/08	05/27/08	06/12/08	12/01/09	\$2,500,000	\$3,193,260	\$1,154,600	\$2,654,600
052-B	Mark Benesh & Associates/Prudential	521 East Main Avenue	Lease	Completed	10/08/08	10/22/08	11/04/08	04/01/09	N/A	N/A	N/A	N/A
053-B	CIG Investments, LLP	408 East Main Avenue	Rehabilitation	Completed	03/11/09	03/24/09	04/21/09	10/21/09	\$258,720	\$199,620	\$80,700	\$420,000
054-B	RC Properties, LLLP	800 East Sweet Avenue	Rehabilitation	Completed	05/13/09	05/26/09	06/03/09	01/20/11	\$2,145,500	\$1,335,670	\$576,100	\$1,900,000
055-B	Blarney Stone Pub, LLC	408 East Main Avenue	Lease	Completed	06/10/09	06/23/09	07/07/09	10/01/09	N/A	N/A	N/A	N/A
056-B	Cavalier Homes, Inc.	408 East Main Avenue	Lease	Completed	06/10/09	06/23/09	07/07/09	10/15/09	N/A	N/A	N/A	N/A
057-B	Jim Poolman Consulting, Inc.	408 East Main Avenue	Lease	Completed	06/10/09	06/23/09	07/07/09	09/05/09	N/A	N/A	N/A	N/A
058-B	TFRE, LLC	120/124 North 4th Street	Purchase w/ Improve	Completed	06/10/09	06/23/09	06/25/09	11/01/10	\$245,284	\$246,603	\$231,100	\$350,000
060-B	SRSSM Partnership	122 East Broadway Avenue	Purchase w/ Improve	Completed	10/14/09	10/27/09	11/25/09	06/17/10	\$727,000	\$620,109	\$437,680	\$843,500
061-B	Sheldon A. Smith, P.C.	123 East Broadway Avenue	Lease	Completed	11/12/09	11/24/09	12/03/09	06/21/10	N/A	N/A	N/A	N/A
062-B	Randall J. Bakke, P.C.	124 East Broadway Avenue	Lease	Completed	11/12/09	11/24/09	12/03/09	06/21/10	N/A	N/A	N/A	N/A
063-B	Scott K. Porsborg, P.C.	125 East Broadway Avenue	Lease	Completed	11/12/09	11/24/09	12/03/09	06/21/10	N/A	N/A	N/A	N/A
064-B	Mitchell D. Armstrong, P.C.	126 East Broadway Avenue	Lease	Completed	11/12/09	11/24/09	12/03/09	06/21/10	N/A	N/A	N/A	N/A
065-B	Suzanne M. Schweigert, P.C.	122 East Broadway Avenue	Lease	Completed	11/12/09	11/24/09	12/03/09	07/01/10	N/A	N/A	N/A	N/A
066-B	Kranzler Kingsley Communications, LTD	501 East Main Avenue	Lease	Completed	12/09/09	12/22/09	01/10/10	07/16/10	\$180,000	\$295,896	N/A	N/A

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067-B	IRET Properties, LP	715 East Broadway Avenue	Rehabilitation	Completed	12/09/09	12/22/09	01/10/10	09/08/10	\$1,136,650	\$837,783	\$1,251,000	\$1,818,000
068-B	J & J Smith Property Management, LLC	115 North 4th Street	Purchase w/ Improve	Completed	01/13/10	01/26/10	02/12/10	10/25/10	\$120,000	\$161,746	\$294,400	\$437,000
069-B	Jimmy John's	301 South 3rd Street	Lease	Completed	02/10/10	02/23/10	03/02/10	07/13/10	\$75,000	\$140,000	N/A	N/A
070-B	J2 Studio Architecture + Design	521 East Main Avenue	Lease	Completed	02/10/10	02/23/10	03/02/10	03/11/10	N/A	N/A	N/A	N/A
071-B	JS Bridal, LLC	115 North 4th Street	Lease	Completed	06/09/10	06/22/10	07/02/10	11/01/10	N/A	N/A	N/A	N/A
072-B	Toasted Frog West, LLC	124 North 4th Street	Lease	Completed	10/19/10	10/26/10	11/10/10	12/01/10	N/A	N/A	N/A	N/A
073-B	A.L. Brend, DDS	207 East Front Avenue	Lease	Completed	10/13/10	10/26/10	11/10/10	10/24/11	N/A	N/A	N/A	N/A
074-B	Magi-Touch Carpet & Furniture, Inc	800 East Sweet Avenue	Lease	Completed	10/19/10	10/26/10	11/10/10	02/01/11	N/A	N/A	N/A	N/A
075-B	American Bank Center	401 North 4th Street	New Construction	Completed	10/19/10	10/26/10	11/10/10	10/15/12	\$3,200,000	\$3,046,296	\$125,000	\$3,500,000
076-B	Spaces, Inc.	122 East Main Avenue	Lease	Completed	01/12/11	01/25/11	02/07/11	02/21/11	N/A	N/A	N/A	N/A
077-B	Aimee C. Reidy	306 South 10th Street	Rehabilitation	Completed	03/09/11	03/22/11	04/17/11	08/24/11	\$20,000	\$45,433	\$68,200	\$120,000
080-B	Pine Properties, LLC	100 West Broadway Avenue	New Construction	Completed	06/08/11	06/28/11	08/10/11	02/01/15	\$27,000,000	\$23,947,483	\$175,000	\$23,500,000
081-B	Gulch II, LLC (fka HST, LLC)	506/510 East Main Avenue	Rehabilitation	Completed	07/12/11	07/26/11	08/10/11	01/15/14	\$3,100,000	\$3,535,146	\$243,500	\$3,000,000
082-B	Daymarck, LLC	521 East Main Avenue	Lease	Completed	07/12/11	07/26/11	08/10/11	11/07/13	N/A	N/A	N/A	N/A
083-B	JLB-BIS, Inc.	217 North 3rd Street	Rehabilitation	Completed	02/21/12	02/28/12	03/12/12	11/15/12	\$350,000	\$569,954	\$113,500	\$265,000
084-B	Broadway Centre, LLC	100 West Broadway Avenue	Lease	Completed	02/21/12	02/28/12	03/12/12	07/31/14	N/A	N/A	N/A	N/A
085-B	Pine Properties, LLC	100 West Broadway Avenue	Lease	Completed	02/21/12	03/27/12	05/14/12	07/31/14	N/A	N/A	N/A	N/A
086-B	Pine Investment Company, LLC	100 West Broadway Avenue	Lease	Completed	02/21/12	03/27/12	05/14/12	07/31/14	N/A	N/A	N/A	N/A
087-B	Pine Enterprises, LLC	100 West Broadway Avenue	Lease	Completed	02/21/12	03/27/12	05/14/12	07/31/14	N/A	N/A	N/A	N/A
088-B	Pine Petroleum, Inc.	100 West Broadway Avenue	Lease	Completed	02/21/12	03/27/12	05/14/12	07/31/14	N/A	N/A	N/A	N/A
089-B	Pine Oil Company	100 West Broadway Avenue	Lease	Completed	02/21/12	03/27/12	05/14/12	07/31/14	N/A	N/A	N/A	N/A
090-B	Kenneth Clark and Dave Clark	106 East Thayer Avenue	Rehabilitation	Completed	07/17/12	07/24/12	07/26/12	02/07/13	\$89,000	\$95,402	\$117,800	\$197,000
091-B	Bread Poets Baking Company, LLC	106 East Thayer Avenue	Lease	Completed	07/17/12	07/24/12	07/26/12	02/07/13	N/A	N/A	N/A	N/A
092-B	Obermiller Nelson Engineering	116 North 5th Street	Lease	Completed	08/21/12	08/28/12	08/29/12	09/01/12	N/A	N/A	N/A	N/A
095-B	Hump Back Sally's, LLC	510 East Main Avenue	Lease	Completed	11/20/12	11/27/12	01/09/13	01/01/15	N/A	N/A	N/A	N/A
096-B	Faass Lavidia, LLC	510 East Main Avenue	Lease	Completed	01/15/13	01/22/13	02/21/13	09/01/13	N/A	N/A	N/A	N/A
097-B	J&G, Inc dba Red Wing Shoes	529 East Broadway Avenue	Lease	Completed	06/18/13	06/25/13	06/27/13	10/01/13	\$73,996	\$73,514	N/A	N/A
098-B	Skjonsby Unlimited, Inc.	222 West Broadway Avenue	Rehabilitation	Completed	06/18/13	06/25/13	06/27/13	12/20/13	\$72,421	\$93,607	\$41,300	\$90,000
099-B	Arikota, LP (United Printing)	306 South 1st Street	New Construction	Completed	06/18/13	06/25/13	09/18/13	11/17/17	\$3,000,000	\$3,166,484	\$0	\$2,000,000
100-B	Langan Engineering & Environmental	401 East Broadway Avenue	Lease	Completed	08/20/13	08/27/13	01/14/14	05/16/14	N/A	N/A	N/A	N/A
101-B	Kadlec Enterprises, LLC	307 North 3rd Street	Rehabilitation	Completed	09/17/13	09/24/13	09/25/13	06/14/14	\$490,051	\$412,637	\$212,400	\$550,000
102-B	Fireflour, LLC	111 North 5th Street	Lease	Completed	09/17/13	09/24/13	09/25/13	10/23/13	\$28,500	\$35,814	N/A	N/A
103-B	Norma Apartments, LLP	215 North 3rd Street	Rehabilitation	Completed	10/15/13	10/22/13	11/15/13	03/03/16	\$704,226	\$859,156	\$418,700	\$450,000
104-B	CC's Physical Therapy, LLC	100 West Broadway Avenue	Lease	Completed	03/18/14	03/26/14	04/02/14	12/10/14	N/A	N/A	N/A	N/A
105-B	Pure Skin, LLC	100 West Broadway Avenue	Lease	Completed	04/15/14	04/22/14	05/29/14	12/12/14	N/A	N/A	N/A	N/A
106-B	Broadway Centre Salon & Spa, Inc.	100 West Broadway Avenue	Lease	Completed	04/15/14	04/22/14	05/29/14	12/04/14	N/A	N/A	N/A	N/A
107-B	Lucky Ducks ND, LLC	307 North 3rd Street	Lease	Completed	05/20/14	05/27/14	05/28/14	06/15/14	N/A	N/A	N/A	N/A
108-B	George Yineman/Bismarck Realty Co.	113 South 5th Street	Lease	Completed	10/22/14	10/28/14	11/06/14	01/01/15	\$17,100	\$20,365	N/A	N/A
109-B	William F. Cleary	100 West Broadway Avenue, Suite 308	Primary Residential	Completed	11/18/14	11/25/14	12/15/14	12/17/14	N/A	N/A	N/A	N/A
110-B	Gulch Holdings II, LLC	514 East Main Avenue	Purchase w/ Improve	Completed	01/20/15	01/27/15	03/08/14	02/11/16	\$246,035	\$258,513	\$190,300	\$400,000
111-B	Juniper, LLC	315 East Broadway Avenue	Lease	Completed	02/17/15	02/24/15	03/27/15	09/24/15	N/A	N/A	N/A	N/A
112-B	Terra Nomad, LLC	514 East Main Avenue	Lease	Completed	03/17/15	03/24/15	04/20/15	06/30/15	N/A	N/A	N/A	N/A
113-B	Leon 'Curly' Schoch	100 West Broadway Avenue, Suite 311	Primary Residential	Completed	04/30/15	05/12/15	06/03/15	06/10/15	N/A	N/A	N/A	N/A
114-B	The Barber's Wife, LLC	116 North 5th Street	Lease	Completed	04/30/15	05/12/15	07/20/15	07/23/15	N/A	N/A	N/A	N/A
115-B	Rick and Lori Lee	100 West Broadway Avenue, Suite 318	Primary Residential	Completed	05/19/15	05/26/15	06/30/15	07/01/15	N/A	N/A	N/A	N/A
116-B	Kevin D. Reisenauer	100 West Broadway Avenue, Suite 309	Primary Residential	Completed	04/30/15	05/12/15	08/11/15	08/11/15	N/A	N/A	N/A	N/A
117-B	100 West Main, LP	100 West Main Avenue	New Construction	Completed	09/15/15	09/22/15	11/23/15	02/02/18	\$5,206,732	\$5,677,613	\$20,000	\$3,000,000
118-B	Glasser Images, LLC	510 East Main Avenue	Lease	Completed	11/17/15	11/24/15	04/25/16	04/25/16	N/A	N/A	N/A	N/A
119-B	River Road Partners, LLC	212 East Main Avenue	Purchase w/ Improve	Completed	12/15/15	12/22/15	02/11/16	08/01/18	\$100,000	\$125,140	\$130,200	\$360,000
120-B	The Starving Rooster, LLC	512 East Main Avenue	Lease	Completed	06/21/16	06/28/16	07/20/16	03/31/17	N/A	N/A	N/A	N/A
121-B	Steven and Carl Hall	100 West Broadway Avenue, Suite 310	Primary Residential	Completed	10/18/16	10/25/16	11/16/16	11/16/16	N/A	N/A	N/A	N/A
122-B	NoodleZip	208 East Main Avenue	Lease	Completed	02/09/17	02/28/17	03/17/17	07/21/17	\$62,000	\$63,950	N/A	N/A
123-B	Mark Ruhland	101 West Broadway Avenue, Suite 302	Primary Residential	Completed	06/08/17	06/27/17	08/01/17	08/01/17	N/A	N/A	N/A	N/A
124-B	701 Roots LLC	201 West Main Avenue	Rehabilitation	Completed	07/13/17	07/25/17	08/02/17	08/02/18	\$600,000	\$646,351	\$827,600	\$1,427,600
125-B	Active Life Chiropractic, PC	201 West Main Avenue	Lease	Completed	07/13/17	07/25/17	08/02/17	08/02/18	N/A	N/A	N/A	N/A
126-B	Harvester Truck Shop, LLC	122 North Mandan Street	Rehabilitation	Completed	08/10/17	08/22/17	08/28/17	08/29/18	\$590,000	\$633,413	\$349,400	\$1,000,000
127-B	Proximal 50, Inc	122 North Mandan Street	Lease	Completed	08/10/17	08/22/17	08/28/17	08/29/18	N/A	N/A	N/A	N/A
128-B	Traci and Bruce Maragos	100 West Broadway Avenue, Suite 306	Primary Residential	Completed	04/13/17	04/25/17	09/19/17	09/19/17	N/A	N/A	N/A	N/A
129-B	Lester and Patricia Neff	102 West Broadway Avenue, Suite 320	Primary Residential	Completed	06/08/17	06/27/17	09/26/17	09/26/17	N/A	N/A	N/A	N/A
130-B	Butterhorn, Inc	210 East Main Avenue	Lease	Completed	09/14/17	09/26/17	10/03/17	05/11/18	\$860,000	\$492,641	N/A	N/A
131-B	Advanced Skin Support, LLC	401 East Broadway Avenue	Lease	Completed	09/14/17	09/26/17	10/18/17	01/12/18	N/A	N/A	N/A	N/A

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132-B	Newgen 1, LLC	112 North 4th Street	Purchase w/ Improve	Completed	10/12/17	10/24/17	10/30/17	03/03/20	\$127,700	\$113,948	\$220,400	\$350,000
133-B	Boutique Twenty-Three, LLC	201 West Main Avenue	Lease	Completed	10/12/17	10/24/17	10/30/17	08/11/18	N/A	N/A	N/A	N/A
134-B	The Barbers Wife, LLC	401 East Broadway Avenue	Lease	Completed	11/09/17	11/27/17	12/04/17	08/07/18	N/A	N/A	N/A	N/A
135-B	Anima Cucina, LLC	101 North 5th Street	Lease	Completed	12/14/17	12/26/17	01/12/18	10/30/18	N/A	N/A	N/A	N/A
136-B	Invision Property, LLP	815 East Main Avenue	Rehabilitation	Completed	02/08/18	02/27/18	03/07/18	04/26/19	\$968,000	\$999,446	\$426,500	\$1,000,000
137-B	The Craftcade, LLC	405 North 4th Street	Lease	Completed	03/08/18	03/27/18	04/11/18	05/15/19	\$215,000	\$227,267	N/A	N/A
138-B	Soul Haven Studios, LLP	209 West Main Avenue	Lease	Completed	11/08/18	11/27/18	12/05/18	04/26/19	N/A	N/A	N/A	N/A
139-B	Schuett Development, LLC	420 East Main Avenue	Purchase w/ Improve	Completed	11/09/17	12/18/18	12/20/18	11/20/21	\$7,182,725	\$10,468,601	\$5,509,100	\$7,275,000
140-B	Todd Neff	100 West Broadway Avenue, Suite 316	Primary Residential	Completed	04/11/19	04/23/19	04/26/19	04/26/19	N/A	N/A	N/A	N/A
141-B	630 Main Apartments	630 East Main Avenue	New Construction	Approved	01/10/19	02/26/19	05/01/19		\$8,200,000	Pending	\$0	\$8,200,000
142-B	Brick Oven Bakery, LLC	112 North 4th Street	Lease	Completed	05/09/19	05/28/19	06/10/19	02/19/20	N/A	N/A	N/A	N/A
143-B	First Street Lofts	215 S 1st Street	New Construction	Completed	06/13/19	06/25/19	06/27/19	06/01/21	\$7,000,000	\$7,365,709	\$186,800	\$7,000,000
144-B	Lander Group/506 Properties, LLC	112-120 E Ave A and 506-510 N 2nd St	New Construction	Approved	02/13/20	02/25/20	03/02/20		\$2,560,000	Pending	\$289,100	\$3,000,000
145-B	Lander Group/The Boutrous Group, LLC	202-220 E Ave A and 500-506 N 3rd St	New Construction	Approved	02/13/20	02/25/20	03/02/20		\$9,150,000	Pending	\$306,100	\$9,500,000
146-B	JJ Hageness Renovation, LLC	418 East Rosser Avenue	Rehabilitation	Approved	05/14/20	05/26/20	06/02/20		\$2,500,000	Pending	\$1,085,700	\$2,500,000
147-B	Transition Florida LLC	114 North 3rd Street	Rehabilitation	Approved	10/08/20	10/27/20	10/29/20		\$780,000	Pending	\$1,560,000	\$1,800,000
148-B	Dennis and Linda Abel	102 West Broadway Avenue, Suite 307	Primary Residential	Completed	11/12/20	11/24/20	12/02/20	12/04/20	N/A	N/A	N/A	N/A
149-B	JMN Roots, LLC	212 N 2 nd Street	Purchase w/ Improve	Completed	07/08/21	07/27/21	07/30/21	01/19/22	\$125,000	\$167,359	\$190,000	\$250,000
150-B	Freedom Financial Group, LLC	212 N 2 nd Street	Lease	Completed	07/08/21	07/27/21	07/30/21	01/19/22	N/A	N/A	N/A	N/A
151-B	My Happy Place	319 N Mandan Street	Rehabilitation	Approved	02/10/22	02/22/22	02/24/22		\$125,000	Pending	\$193,600	\$400,000
152-B	Balerud Rentals, LLC/DDB Rentals, LLC	425 N 5th Street	Rehabilitation	Approved	07/14/22	07/26/22	07/28/22		\$1,000,000	Pending	\$1,687,500	\$3,200,000
153-B	Quality Title, Inc	425 N 5th Street	Lease	Approved	07/14/22	07/26/22	07/28/22		N/A	N/A	N/A	N/A
									\$106,799,245	\$83,254,268	\$27,964,680	\$113,332,000